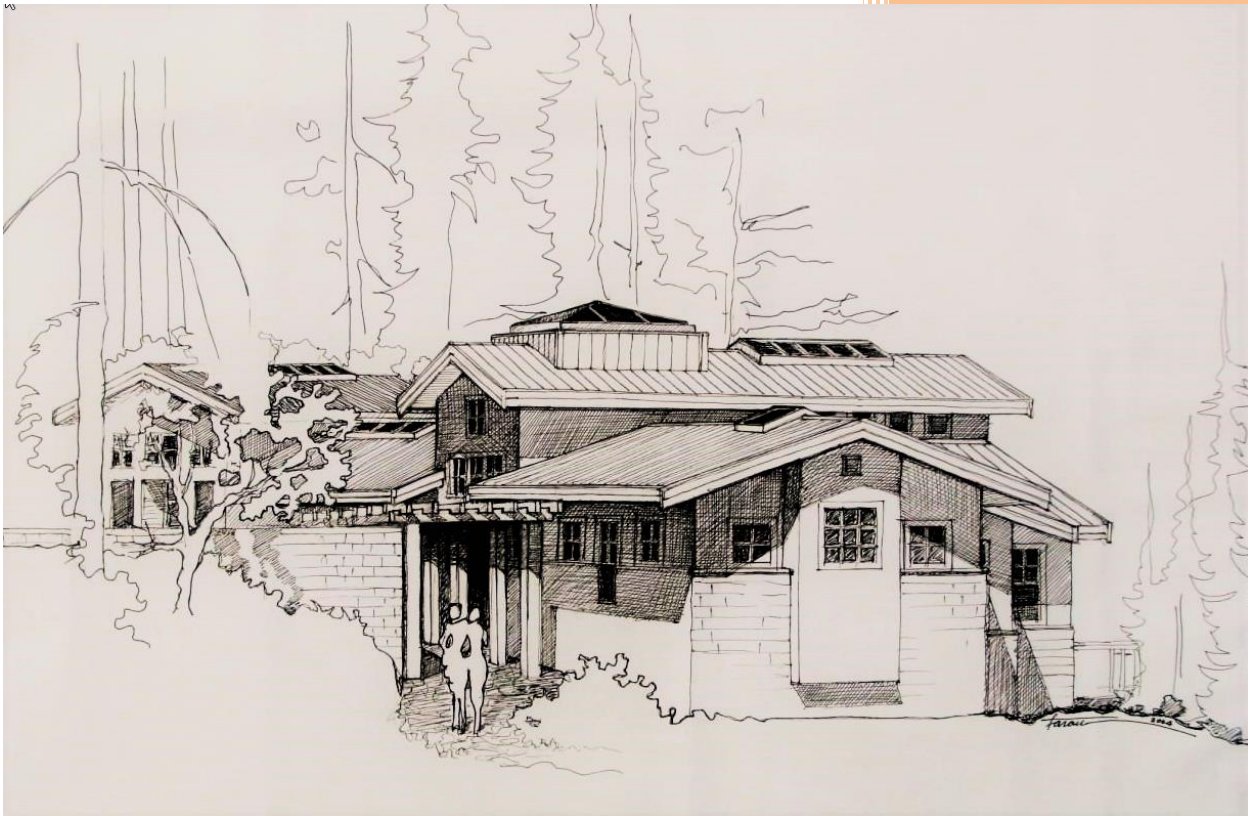


EAGLE LAKE

V 2020

c

Eagle Lake Community Association Design Guidelines



Contents

1	Introduction	1
1.1	Intention.....	1
1.2	Evolution	1
1.3	Applicability	1
1.4	Eagle Lake Style	2
2	Building Sites.....	3
2.1	Building Site Shape and Size.....	3
2.2	View Easement.....	3
2.2.1	View Easement Intent.....	3
2.2.2	View Easement Azimuth for each site	4
3	Guidelines Common to Built and Unbuilt Sites	4
3.1	Vegetation Removal	4
3.1.1	Protected Trees.....	4
3.1.2	Tree Thinning, Removal and Trimming.....	5
3.2	New Vegetation	7
3.2.1	New Native Vegetation	7
3.2.2	Cultivated or Nonnative Vegetation	7
4	Building Plan Guidelines.....	8
4.1	Statement of Intent	8
4.2	Neighborly Considerations	8
4.3	Permitted Permanent Structures	8
4.3.1	House Size and Proportions	8
4.3.2	Foundations and Retaining Walls	9
4.3.3	Exterior Fire Pits, Fireplaces, Cooking and Heating Devices.....	10
4.3.4	Exterior Wall Materials.....	11
4.3.5	Exterior Decks and Porch Railing.....	11
4.3.6	Exterior Patios and Walkways	12
4.3.7	Exterior Fencing	12
4.3.8	Chimneys and Stovepipes	12
4.3.9	Exterior Doors.....	12
4.3.10	Windows	13

4.3.11	Window and Door Trim	14
4.3.12	Exterior Color Palette	14
4.3.13	Roof and Roof Structures	15
4.3.14	Decks and Placement of Decks	18
4.3.15	Waste Facilities, Drains, and Utilities	19
4.3.16	Mechanical Devices.....	20
4.3.17	Driveway	20
4.3.18	Exterior Lighting.....	20
4.3.19	Garages and Carports	21
4.3.20	Storage Sheds and Firewood Storage	22
4.3.21	Signage.....	22
4.3.22	Pest Control Planning	22
4.4	Temporary Structures	22
4.4.1	Limited Temporary Structures	22
4.4.2	Utility Hook-ups	23
4.4.3	Temporary Facility for Construction	23
4.4.4	Temporary Structures Before Construction	23
4.4.5	Site Conditions.....	24
5	Construction Policies.....	24
5.1	Statement of Intent	24
5.2	Repair of Roads and Community Property.....	25
5.3	Construction Hours.....	25
5.4	Use of Eagle Lake Property, Equipment, and Facilities.....	25
5.5	Parking	25
5.6	Construction Office	25
5.7	Vegetation Clearing on the Site.....	26
5.8	Blasting and Excavation.....	26
5.9	Site and Driveway Grading	26
5.10	Erosion Control	26
5.11	Concrete Cleanup	26
5.12	Materials Storage	27
5.13	Site Cleanup and Recycling.....	27
5.14	Burning.....	27

5.15	Construction Timelines.....	27
5.16	Restoration of Property.....	27
5.17	Stop Work Orders	28
5.18	Owner as Agent	28
5.19	Utility Verification.....	28
5.20	As-Built Plans.....	28
6	Design Review Process	29
6.1	Statement of Intent	29
6.2	Agreement to Abide by the Design Guidelines	29
6.3	Filing Fee.....	29
6.4	Hiring of a Design Professional for Review	29
6.5	Representation	29
6.6	Review Process Timing	30
7	Minor Requests - Review Process	30
7.1	Overview.....	30
7.2	Official Request	30
7.3	Official Response.....	30
7.3.1	Approval.....	30
7.3.2	Disapproval.....	31
7.4	Project Completion.....	31
7.5	Deviations during Project Implementation	31
8	Major Construction Requests - Review Process.....	32
8.1	Major construction Requests Overview	32
8.2	Mandatory Milestones	32
8.2.1	Official Request from the site owner	32
8.2.2	Pre-construction Review.....	34
8.2.3	Post-construction Review	35
8.2.4	Handling of Deviations during Construction	36
8.3	Optional Pre-Meetings	36
8.3.1	Initial Site Visit	36
8.3.2	Concept Review.....	36
8.3.3	Other Informal Discussions.....	37
8.4	Appeal Process	37

8.4.1 Appeal with the Design Review Committee..... 37

8.4.2 Appeal to the ELCA Board of Directors 37

Appendix A Major Construction Request Summary of Compliance

Appendix B Site Owner - Contractor Agreement

Appendix C Examples of Eagle Lake Home Designs

Appendix D Eagle Lake Site Map

Appendix E Measuring Tree Diameter

Appendix F Finding the View Corridor

1 Introduction

1.1 Intention

Integrating the natural beauty of Eagle Lake with man-made structures is at the heart of the Design Guidelines. The intention of the Design Guidelines is to collaboratively establish an architectural style for the Eagle Lake Community characterized by continuity and consistency without conformity and monotonous repetition or duplication. These Design Guidelines support the goal of creating a distinctive community appearance that enhances the visual integration of structures with the spectacular Orcas Island landscape.

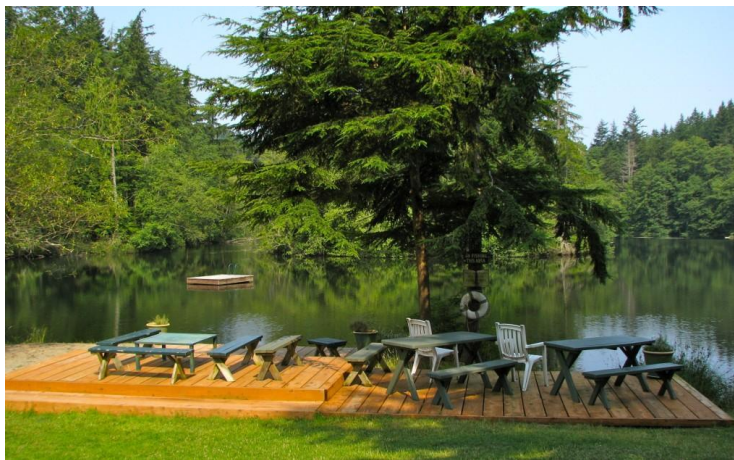


Figure 1 The serene beauty of Eagle Lake

1.2 Evolution

The Eagle Lake Design Guidelines is a living document. It has evolved over time and should continue to evolve through collaboration between the Eagle Lake community and the Eagle Lake Design Review Committee (DRC) in response to environmental and social evolution, changes in regulations at the county, state or federal level, and the emergence of energy efficient and environmentally sensitive building technologies.

1.3 Applicability

Compliance to the Design Guidelines is arbitrated by the Eagle Lake Design Review Committee. Disagreements with the conclusions and decisions of the Design Review Committee may be brought to the Eagle Lake Community Association (ELCA) Board. The Board's decision shall be final.

If any provision of these Design Guidelines, or its application to any person or circumstance is held invalid, the remainder of the Design Guidelines, or the application of the provisions to other persons or circumstances is not affected

As per the ELCA Bylaws (09.05 Non-Waiver), the Design Review Committee approval of any plans, drawings, or specifications shall not be a waiver of the right to withhold approval of any similar plan, drawing specification, or matter subsequently submitted for approval.

1.4 Eagle Lake Style

Architectural traditions such as Craftsman, Bungalow, Prairie, and the architecture in our National Parks are examples that contributed to the evolving Eagle Lake style. Some of the more prominent architects and firms known for their interpretation of one or more of these styles are Frank Lloyd Wright; McKim, Mead, & White; Gustav Stickley; Greene & Greene; and C. F. A. Voysey. The elements of these styles that have influenced the Eagle Lake style are shallow pitched roofs, broad deep eaves, long horizontal lines, exposed rafter tails, broad porches, wood exterior finishes, and selected colors that minimize contrast with the natural setting, thereby achieving development that blends with our beautiful setting (Figure 2). While literal expression of these elements has been encouraged over the years, creative interpretations are also desired (see Appendix C Examples of Eagle Lake Home Designs).



Figure 2 The meeting house is an example of using traditional architecture with shallow pitched roofs, broad deep eaves, long horizontal lines, and wood exterior finishes

The Eagle Lake style encourages varied design approaches while ensuring architectural integrity, sustainability, and environmental considerations. All structures shall share some common architectural elements. The Eagle Lake style accommodates broad interpretations, but the nature of the common elements shall lessen the impact on the environment and lend some degree of predictability to the landscape. The result will be structures congruent with the spectacular natural environment of Eagle Lake (Figure 3).

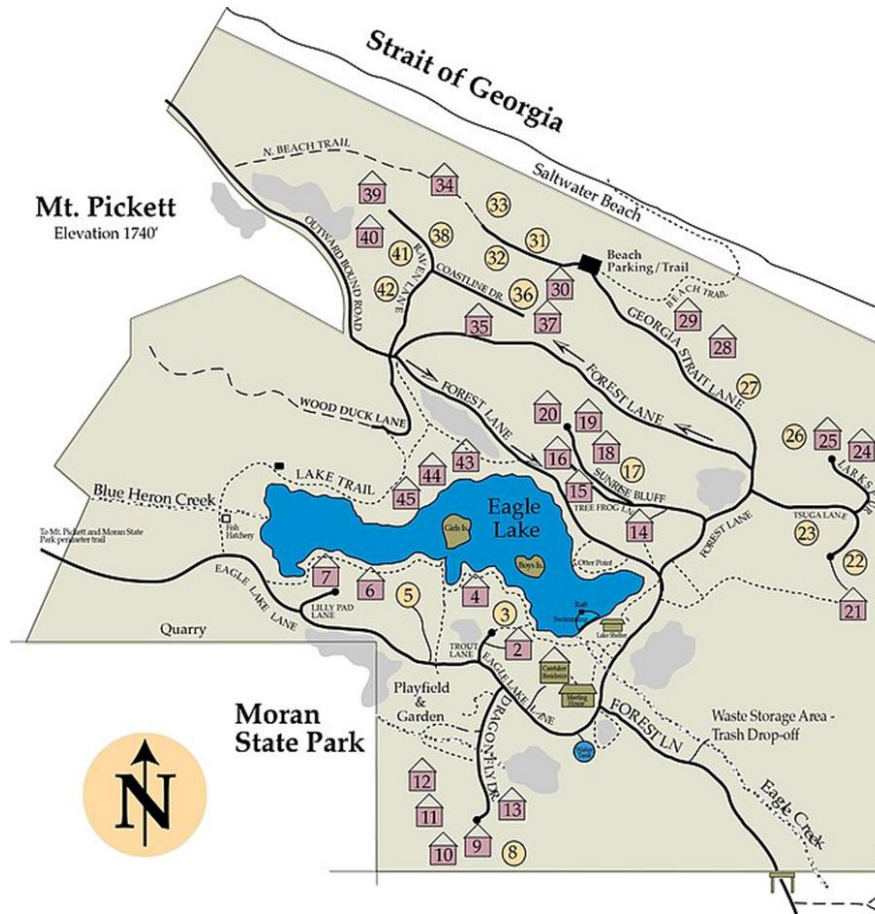


Figure 3 The beautiful Eagle Lake Community is surrounded by the Strait of Georgia to the north and northeast, Mt. Pickett to the west, and Moran State Park to the west and southwest.

2 Building Sites

2.1 Building Site Shape and Size

Most building sites at Eagle Lake are 100-foot-diameter circle with an area of approximately 7,854 square feet and provide adequate space for a variety of building shapes and sizes. A few sites have different shapes and sizes.

2.2 View Easement

2.2.1 View Easement Intent

View easements have been established for each site to minimize the impact on the land and to maximize the best views for each site. View easements refer to the area on, and extending off, each site where selective vegetation removal may take place. These easements are required by San Juan County as a part of the final Plat approval for Eagle Lake on Orcas Island.

Selective vegetation removal refers to careful pruning, cutting, or thinning of existing vegetation to establish “pocket” or “window” views within a reasonable distance of the view corridor. There shall be no absolute clear cutting of any and all vegetation.

2.2.2 View Easement Azimuth for each site

The view easement centerline azimuths for each site are as follows:

1: 12°	13: 100°	25: 22°	37: 10°
2: 45°	14: 205°	26: 8°	38: 20°
3: 82°	15: 250°	27: 20°	39: Unspecified
4: 22°	16: 215°	28: 10°	40: 10°
5: 22°	17: 170°	29: 10°	41: 10°
6: 12°	18: 37°	30: 10°	42: 10°
7: 8°	19: 37°	31: 10°	43:
8: 90° or 280°	20: 10°	32: 10°	44:
9: 90° or 210°	21: 260°	33: 10°	45:
10: 90°	22: 17°	34: 10°	
11: 100°	23: 320°	35: 20°	
12: 100°	24: 17°	36: Unspecified	

Please see Appendix F for how to find the View Corridor.

3 Guidelines Common to Built and Unbuilt Sites

Built sites are sites where a permitted permanent structure has been built. In this document, they are referred to as “built” or “developed” sites.

Unbuilt sites, also referred to as undeveloped sites, are sites where no permitted permanent structure has been built. Sites in the process of being built are generally considered unbuilt or undeveloped, except for the fact that development is in progress.

3.1 Vegetation Removal

3.1.1 Protected Trees

Vegetation removal is an ongoing process subject to review by the Design Review Committee and neighbors. Trees with a diameter of 8 inches or more at a height of 4 feet from the ground are considered Protected Trees. See Appendix E for instructions on how to measure the diameter of a tree.

In general, the Forest Management Plan precludes the removal of desirable tree species such as cedar and douglas fir, or trees which obviously contribute to the aesthetics of the site. The Plan does not prohibit minor alteration (e.g., limb removal) of such trees.

3.1.2 Tree Thinning, Removal and Trimming

3.1.2.1 Responsibility

It is the responsibility of the site owners to maintain their view corridor(s), remove dead trees within or near their site to mitigate fire danger, and maintain or remove dangerous trees situated near their driveway, walkways or buildings.

If fallen or dangerous trees are found in the developed common areas, please call the Caretaker. The Eagle Lake Caretaker will evaluate trees in developed areas each year and recommend to the ELCA Board the removal of any safety hazards along roads and trails and near community facilities.

3.1.2.2 Authorization to Thin, Remove and Trim Protected Trees

The removal or trimming of Protected Trees is prohibited unless approved by the Design Review Committee. No clear cutting or random clearing of vegetation is allowed without prior review and permission.

3.1.2.3 Removal of Non-Protected Trees

Site owners are encouraged to remove small trees from sites and surrounding common property while they are young and before they become Protected Trees. The growth rate of hemlock and alder trees and their propensity to snap or fall are of great concern. Site owners are strongly encouraged to cut undersized hemlocks and alders every couple of years in order to avoid the consequential forestry expenses later. This thinning procedure does not require the use of the Design Review Committee process or approval from the Design Review Committee.

3.1.2.4 Control of Vegetation for Fire Protection

For the purpose of limiting the risk of destructive fires, site owners are encouraged to control and trim vegetation within 200 feet of their circle:

- a. Keep brushes below 5 feet high if possible, especially in the proximity of trees. Brushes such as ocean spray do not burn easily but burn very hot. Burning high brush can spread a ground fire to higher branches in trees
- b. Remove low hanging branches from trees to prevent ground fires from spreading to tree crowns (Figure 4)

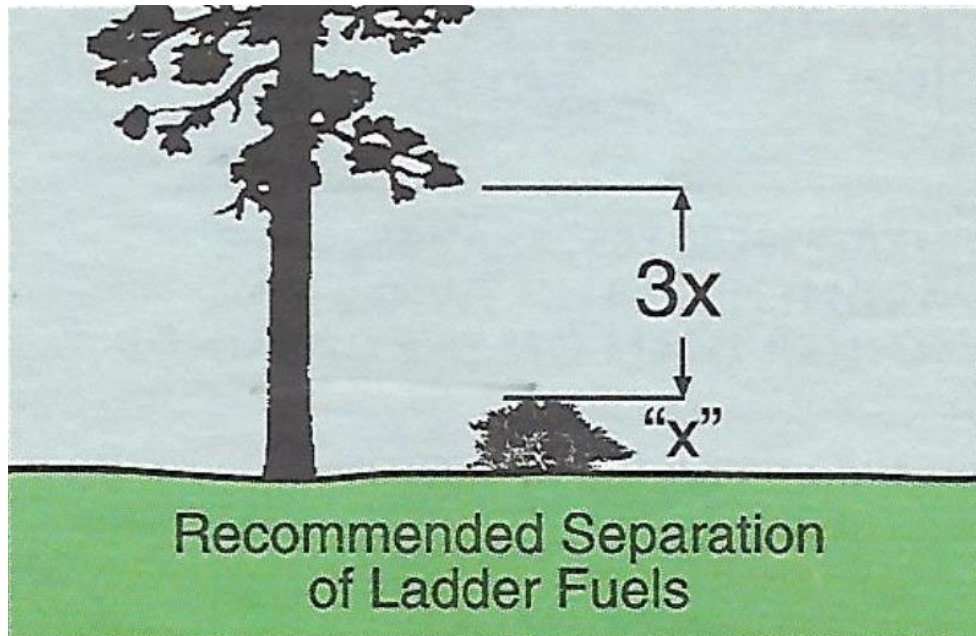


Figure 4 Recommended Separation of Ladder Fuels

3.1.2.5 Tree Removal or Thinning Authorization Process

Any site owner desiring the removal, trimming, or other alteration of Protected Trees within an owner's site or view easement, need permission from the Design Review Committee. The Design Review Committee shall consider such requests upon submission.

Requests to the Design Review Committee shall include, at a minimum, the following:

- a. A brief summary of the tree thinning, removal, or alteration project that is being proposed.
- b. If requested by the Design review committee, a map or other graphic representation of the area(s) in which all vegetation proposed for removal, trimming, or alteration is located, and showing all Protected Trees that will be affected, along with the approximate vectors of the site's view corridor, if the project involves corridor clearing.
- c. If possible, photograph(s) of the above area(s), showing the affected trees. This process, as well as the site visit mentioned below, may be aided by flagging or otherwise marking the affected trees prior to taking the photograph(s) to be submitted with the application. Please do not use paint to flag trees. Use tape instead.

The application should also indicate specifically that the site owner understands that all costs of such tree cutting, trimming, or alteration, including all necessary clean-up costs for trunk, limbs and debris chipping and removal, shall be the site owner's alone, and certifying that the proposed project complies with the Eagle Lake Forest Management Plan.

On or before the date a site owner submits an application to the Design Review Committee under this section, such owner shall provide a copy of that application to the owners of all neighboring sites within the Eagle Lake development. Email is an appropriate way of doing so.

The Design review committee may at its option perform an inspection of the site of the proposed project and verify the location of affected trees and full compliance with the Forest Management Plan.

Nothing in this section shall obligate the Design Review Committee to approve any request made by a site owner. However, any owner whose request is not approved by the committee may appeal its decision. The Appeal process is defined in section 8.4.

3.1.2.6 Debris Removal

Unkempt piles of dry wood may cause a fire hazard and therefore are not permitted. Any vegetation debris on the site shall be disposed of in a timely manner. Brush must be chipped or distributed if it is to lie on the ground. Chips may be distributed on the ground or disposed of in a designated area at Eagle Lake or hauled off the property. Large chunks of wood must be swamped or removed from the area.

The Eagle Lake Community Association retains the right to maintain specific locations for acceptable burning practices.

3.2 New Vegetation

3.2.1 New Native Vegetation

Site owners may want to add new native vegetation to their site or to areas between sites. Some indigenous low plantings include Oregon grape, salal, ferns, moss, and grasses. Larger tree species include fir-type conifers, pine, cedar, vine maple, large-leaf maple, or alder trees.

3.2.2 Cultivated or Nonnative Vegetation

Site owners may add cultivated or nonnative vegetation on or near their site. Cultivated garden beds as extensions of the home and/or the garage are allowed. These may contain any variety of plantings. Species of plants known to overtake the native landscape are discouraged. If such plants are used, they must be contained to a predefined area with suitable materials for blocking their growth. Any overgrowth of these species shall require complete removal by the current site owner. Notwithstanding the foregoing, the use of plants considered noxious and quarantined by the State of Washington is strictly prohibited. At the time of the writing of this document, the regulations in place include RCW 17.10, RCW 17.04, RCW 17.06 and WAC 16-750. The list of noxious plants can be found in WAC 16-752-610. For further information, you may want to refer to the Noxious Weed Control Board website – nwcb.wa.gov – and the noxious weed section for the San Juan Islands of the Washington State University web site – extension.wsu.edu/sanjuan/noxious.

4 Building Plan Guidelines

4.1 Statement of Intent

The intent of the building plan guidelines is to maintain the Eagle Lake style and ensure congruence between the houses and their respective sites. The guidelines for building plans apply to exterior massing and details only. Interior spaces and finishes are at the discretion of the owner.

All homes, whether traditional or non-traditional construction, modular, log or other, must comply with all aspects of the Eagle Lake Design Guidelines.

Designs submitted may include a written description of the character of the permanent structure. The description may address style, influence, building orientation, site blending, and a simple outline of how the intent of the design is consistent with the Eagle Lake concept.

4.2 Neighborly Considerations

We strongly encourage site owners to consider and review with their neighbors the effect of a new building on adjacent sites and sites within the line of sight. Particular attention should be paid to the respect of privacy, to the possible creation of glare from roofs and large window groups as a function of the time of day over the course of the year, and to the effect the exterior lighting plan may have on the community and the enjoyment of the night sky.

4.3 Permitted Permanent Structures

Permitted permanent structures shall include a single-family dwelling consisting of one “house”, and optionally, one garage for up to two cars or one carport per site for up to two cars, and one shed for wood and equipment storage.

The garage or carport shall be constructed at the same time or after the main dwelling is built. They may not be constructed beforehand.

Living spaces (the “house”) may be separated for privacy on the site. Any and all structures shall be subject to the Eagle Lake Design Guidelines and require approval from the Design Review Committee.

4.3.1 House Size and Proportions

4.3.1.1 Statement of Intent

The intent of this section is to prescribe the house proportions, size, and scale congruent with the Eagle Lake intent to ensure privacy, minimal visual impact, and protection of views.

4.3.1.2 Interior Floor Area

The minimum footprint for a main house shall be 900 square feet.

The living area, not including a garage or any appurtenant structure shall offer a minimum of 1200 square feet of living space.

The maximum footprint for the combined living space, not including porches and decks, shall be 2,800 gross square feet.

4.3.1.3 House Height

The maximum height of the house shall not exceed 33 feet, defined as the distance from the highest point of the structure to the average finished grade (Figure 5). Chimneys may extend above this height to the extent required by roof configurations and building code.

4.3.1.4 Expansive Wall Designs

Elements will be employed to break up large wall areas. This will avoid large expansive wall areas that visually detract from the beautiful natural surroundings. The largest area of wall surface allowed unbroken by an articulating element shall be 100 square feet.

Design elements incorporated to eliminate expansive wall areas can be, but are not limited to, projected window seats with shed roofs, doors, windows, recessed or projected porches, and other features to emphasize horizontal lines, articulation, and detail of the facade.



Figure 5 Maximum Height of a House

4.3.2 Foundations and Retaining Walls

Foundations less than 2.5 feet may be constructed of unfinished concrete. The maximum height of retaining walls exposed to view shall be 8 feet. Walls over 2.5 feet in height shall be

constructed out of stone, cultured stone, stucco, or split faced block. No more than 100 square feet of retaining wall will be permitted without some articulation of detail.

If additional height is required, retaining walls may be terraced such that they do not exceed the maximum slope requirements of finished grades as indicated in section 5.9. The visual impact of retaining walls over 2 feet shall be softened with landscape plantings. Landscape plantings that cover foundations and/or retaining walls should be completed within 6 months of finishing the construction.

4.3.3 Exterior Fire Pits, Fireplaces, Cooking and Heating Devices

The potential for fire is always of grave concern at Eagle Lake, especially during warm and dry weather. Gas, wood or charcoal burning fires are permitted ONLY at developed homes, provided that ALL of the following conditions are met:

- a. There must be a permanent water source at the site with a hose of enough length (50-100 feet) to service any accidental fire.
- b. Fire suppression tools, such as water hose, sand and/or fire extinguishers, must be nearby and easily accessible.
- c. Any gas, wood or charcoal-burning device must be approved by the Design Review Committee prior to installation, except for free-standing gas, charcoal or wood-pellet barbecues.
- d. Campfire rings are only permitted if built as part of a permanent home and approved by the Design Review Committee. Campfire rings must have a 6-inch base of gravel and sand and follow all the San Juan County guidelines. They must have at least 2 feet of clearance on all sides, at least 5 feet of overhead clearance and must be at least 10 feet from any building structure.
- e. Existing residences where fire type devices are present are subject to inspection by the Design Review Committee for compliance.
- f. Permitted devices include outdoor fireplaces, fire pits, free-standing fire pits, fire tables, fire columns, fire bowls, chimineas (metal only).
- g. Placement of any device covered by this section must be on a solid non-combustible surface such as a stone deck or patio with at least 2 feet of clearance on all sides and 5 feet of overhead clearance.
- h. Devices burning wood must have mesh spark arresters, which may be set aside, temporarily, for cooking.

- i. Any wood or charcoal fires must be attended at all times and adhere to all county and/or state wood burning bans.
- j. Ashes must be disposed of in metal ash bins.
- k. Wood and charcoal fires are not permitted during high wind watches or warnings (see the NOAA site for wind warnings: forecast.weather.com and enter the 98279 zip for Olga). The Eagle Lake Caretaker may e-mail notices of weather conditions and burn bans. For questions about burn bans, contact the San Juan County Fire Marshal's office.
- l. Any deviation or condition not covered by these guidelines shall require approval by the Design Review Committee or the ELCA Board prior to construction or usage of any kind.

4.3.4 Exterior Wall Materials

4.3.4.1 Exterior Wood Wall Materials

Exterior wood wall materials shall any combination of:

- a. Beveled cedar siding, cedar shingles or shakes, with a maximum 6-inch exposure
- b. Peeled logs
- c. Rough sawn board and batten with a maximum 12-inch exposure

Wood may be replaced with simulated wood materials.

4.3.4.2 Other Exterior Wall Materials

Other exterior wall materials include stone, cultured stone, rough faced or split faced colored cement block, or concrete. Grout or mortar lines may not exceed 2 inches in width. Maximum allowable exposure of other exterior wall materials is further described above under retaining walls. Stucco may be used on either the upper or lower level. The stucco color must resemble the other siding color choices. The stucco finish may include the application of small stones pressed on the surface to resemble exposed aggregate. Although traditional stucco or synthetic stucco (EIFS) have been successfully used in the climate of the Pacific Northwest, it is challenging to implement properly and avoid dry rot issues that arise from moisture penetrating small gaps or cracks and fissures that may develop over time.

4.3.5 Exterior Decks and Porch Railing

The preference is for all railings to be of wood or simulated wood materials. Creative wood and metal combinations that emulate or model craftsman details are also encouraged. When metal is used, it shall be black or brown. Railing members shall be on either a horizontal or vertical plane. Posts may be constructed of wood, stone, or cultured stone. Decks and patios may also include a solid wall instead of a railing detail. Open rail details may include black, gray, brown,

or green wire to block access by animals. Wire must have horizontal and vertical members only. Diagonal structural elements for decks shall not be exposed to view. Metal brackets, concrete posts or other structural elements for decks shall be hidden from view or finished to match the design. Diagonal lattice, cyclone fencing, and metal tube railing materials are not permitted on any structure. Decks may incorporate glass panels with a maximum height of 6' (six feet) if they are framed in wood or simulated wood materials.

4.3.6 Exterior Patios and Walkways

Walkways, decks, and patios open to view shall be constructed of wood, tile, stone, manufactured stone, or concrete that is brushed, patterned, stained, or exposed aggregate. Smooth or unfinished concrete shall not be permitted.

4.3.7 Exterior Fencing

Partial fencing on individual sites is permitted. It is also permitted on land adjacent to individual sites for the purpose of creating a gardening area if neighboring sites are not affected or if owners of neighboring sites agree to the fencing. The entire perimeter of a site may not be fenced. Fencing may extend from existing structures on the site to establish private outdoor spaces or to keep deer from private gardens. Fences must be constructed from the materials listed in section 4.3.5 above. The fence design shall incorporate horizontal and vertical members only and must have an articulation of detail consistent with the other structures on the site. On a site-specific basis, fencing details may reflect elements existing to match existing community areas or the natural environment.

4.3.8 Chimneys and Stovepipes

Chimneys shall be built of stone, manufactured stone, or wood. Any stovepipe and cap may be used, but they must be of a dark nonreflective color.

Chimneys and stovepipes must be equipped with spark arrestors when the stove or fireplace can burn wood, coal, charcoal, or pellets.

4.3.9 Exterior Doors

Exterior doors may be solid doors, solid doors with limited glazing, or doors with the majority of the surface with glazing.

4.3.9.1 Exterior Multiple Door Groups

The design of exterior multiple door groups giving access to patios, decks, and walkways are encouraged to be the French door style in any grouping or of a type that emulates or models craftsman details.

4.3.9.2 Door Material

Solid exterior doors as well as doors with limited glazing may be wood or painted insulated metal. Screen doors shall always be wood.

4.3.9.3 Exterior Doors with Glazing

Exterior doors with most of the surface area in glazing shall be wood except when homes have wood clad, vinyl, or metal windows. In this case the doors may be wood or match the material and color on the windows.

4.3.10 Windows

Historical Use of Windows: Windows used in homes resembling the Eagle Lake style were vertically proportioned wood casement, grouped together to form horizontal proportions. Often the windows had a single divided lite of horizontal proportion at the top. When picture windows appeared, they were flanked by casement. Using this type of window treatment is strongly encouraged.

4.3.10.1 Window Placement

Privacy can be achieved on each of the Eagle Lake sites and care should be taken to orient windows to minimize the view of one house from another. The Design review committee may provide recommendations about relocating windows which appear to infringe on the privacy of adjacent sites.

4.3.10.2 Window Material

The material for windows shall be wood, vinyl, fiberglass, or metal, provided that the color of the vinyl or metal window is a dark color which complements the choice of exterior finishes.

4.3.10.3 Window Dimensions and Shapes

The tops and bottoms of all windows shall be horizontal; no sloped or angled windows are permitted. Floor to ceiling windows and horizontal sliding windows are not permitted. Except as described further in this paragraph, allowable proportions for windows shall be 1:1.6 width-to-height ratio or narrower.

Grouping of windows for long horizontal placement is strongly encouraged (Figure 6). Picture windows are also permitted. Picture windows must be flanked by windows as described above and shall be no greater than 5 feet in height and 6 feet in width.

Square windows are also permitted in dimensions of less than or equal to 4 feet by 4 feet.

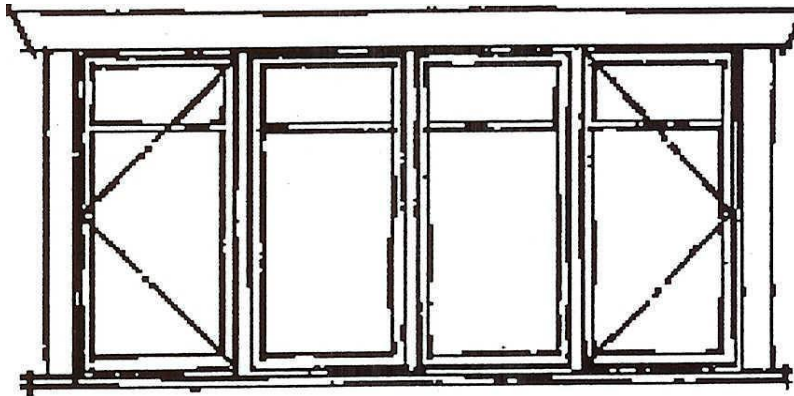


Figure 6 Window Proportions and Shapes

4.3.10.4 Preferred Window Types

The acceptable types of windows include casement, single or double hung sash, and awning windows. Windows may have true divided lites, or snap-in, or glue-on divided lites.

4.3.10.5 Window Seats

A common element of the Eagle Lake style is a window seat that projects beyond the exterior face of the building. Use of this feature is strongly encouraged.

4.3.11 Window and Door Trim

Exterior windows and doors shall be trimmed with wood or simulated wood materials with a minimum width of 3.5 inches to a preferred maximum of 4.5 inches on the sides and top and with a wood or simulated wood material sill at the bottom.

4.3.12 Exterior Color Palette

4.3.12.1 Exterior Wall, Beams, Roof Support and Banding Board Colors

Exterior colors must be in brown, green, or grey hues. Exterior wall colors shall be limited to medium to dark brown, medium to dark green, and medium to dark grey. Accents are permitted in lighter or darker values for the foundation, banding boards, roof supports, separation of floors, soffits, and/or deck railing.

4.3.12.2 Window Colors

The window sash and frame may be painted, stained, powdered-coated or anodized in any one dark color. Window trim may be painted or stained to match or complement the siding, window, or roof color. Window trim may be lighter or darker than the siding.

4.3.12.3 Exterior Front Door Color

One door, deemed the front door, may be painted or stained any one color. The same color may be used on the walk-in entry, if any, of the garage.

4.3.12.4 Other Exterior Doors

All doors except the front door and garage walk-in entry door shall either be stained to match the siding of the residence or be stained a shade darker or lighter than the siding. Door color may match the window color.

4.3.12.5 Doors with Glazing - Color

Exterior doors with most of the surface area in glazing shall be wood except when homes have wood clad, vinyl, or metal windows. In this case the doors may be wood or match the material and color on the windows.

4.3.12.6 Roofing Material Color

All roofing materials at Eagle Lake shall be dark grey, dark brown, or dark green. No light colors or shades of other colors shall be permitted.

4.3.13 Roof and Roof Structures

Roof Framing Approach: Roof framing of Craftsman style dwellings was characteristically distinct from the contemporary way roof framing is constructed (Figure 7).

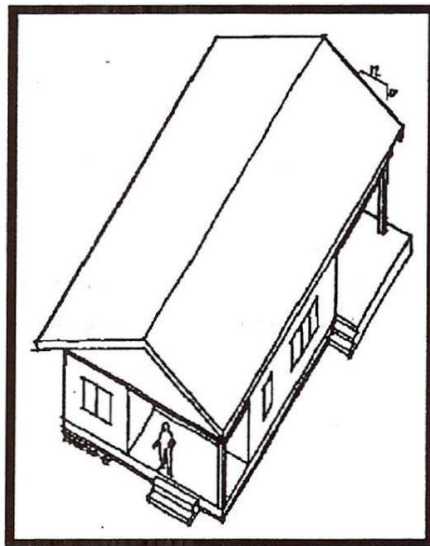


Figure 7 Contemporary Framing with Gable roof

The contemporary manner for framing a rectangular plan is to span the rafters the shorter dimension. This may result in a relatively small gable end with a limited attic space. However, the architectural concept may require the contemporary framing especially if the overall design approach responds effectively to solar energy, site characteristics, and environmental issues.

One method employed in the Craftsman style is to span beams or purlins across the shorter dimension on top of the exterior walls, the ridge, and in intermediate positions. These beams or purlins extend beyond the walls (Figure 10). The rafters are placed on the beams or purlins in a continuous slope from the top of the ridge to the overhanging rafter tail. The result was a taller

gable end often suitable for another livable space beneath the ridge. This one distinction contributes a great deal to the massing and proportions that cause one to identify a style as Craftsman, and this feature is encouraged at Eagle Lake.



Figure 8 Craftsman Style Framing with Gable roof

4.3.13.1 Roof Shape Options

The approved type of roof is the gable roof, also known as pitched or peaked roof. Roofs shall have wide eaves with exposed rafter tails (Figure 9 Rafter Tails) and projected gable ends. The rafter tails do not need to extend beyond the roof line. Eaves shall extend up to 32 inches with a minimum of 24 inches (eave depth). Dormers shall be of the shed or gable type only. The roof may be supported by exposed rafter tails, projected beams, and/or beam brackets. Other roof styles or combination of styles may be approved depending on site location and visual impact to the Eagle Lake Community.

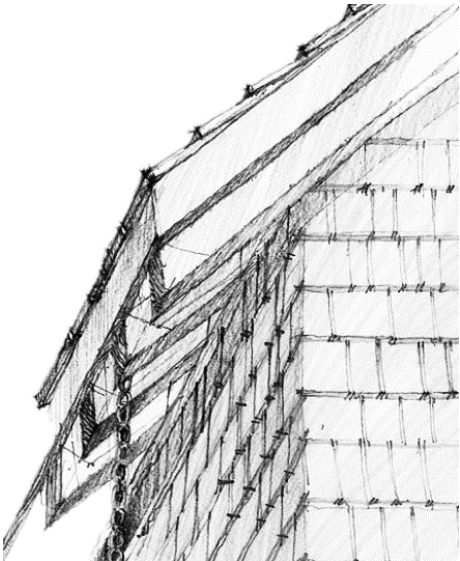


Figure 9 Rafter Tails

4.3.13.2 Elaboration of Roof Details

Detail elaboration of gable peaks, barge rafters, and projected ends of timbers, brackets, and rafter tails is encouraged.

4.3.13.3 Roof Slopes

Roof slopes shall range from 4" in 12" (a four-inch drop in twelve inches) to 7" in 12" (a seven-inch drop in twelve inches).

4.3.13.4 Roofing Materials

Roofing materials shall be those which are fire retardant, including laminated composition shingles that are textured to resemble slate or shakes, concrete tile, concrete slate, slate, or metal. Other roofing materials, including solar, new to the marketplace, may be considered if they meet with approval of the DRC. No wood shake or shingle roofing materials shall be allowed.

4.3.13.5 Solar Allowances

Roof Shapes Accommodating Solar Allowances: "Green" houses are strongly encouraged as extensions of the ground floor of the house or garage (Figure 10). Roof-mounted solar panels (photovoltaic energy systems, thin film of silicon applied to skylights and windows, or solar hot water systems) are permitted and encouraged. While the visual impact of these solar panels may create an aesthetic or design challenge, the idea of using solar panels is congruent with the intention of the Design Guidelines, conserving natural resources and responding effectively to the desired ecological sustainability.

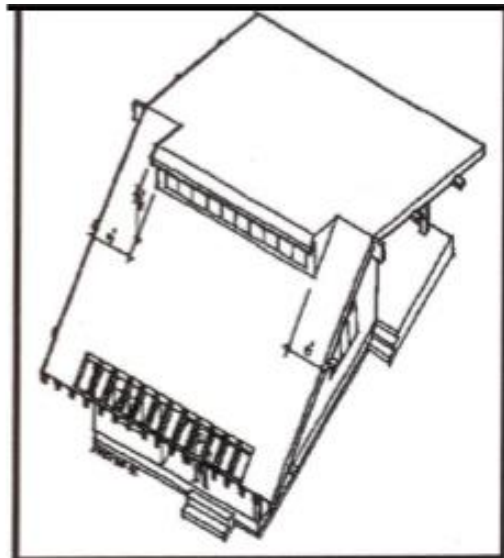


Figure 10 Clerestory and Exposed Framing

4.3.13.6 Clerestories

Clerestories shall be permitted but limited to a height of 5 feet from the highest point of the clerestory to the roof below. On southern exposures, framing for the wide eaves shall be retained, but the roofing materials may be eliminated to allow for solar gain into the house. This treatment is encouraged on the southern exposure of the projected gable ends.

4.3.13.7 Exposed Venting

Venting in the gable end is the preferred type of venting. Continuous ridge type venting is also permitted. The continuous ridge venting may be site constructed or premanufactured but must in all circumstances be finished with the same roofing material as on the rest of the roof. Cap or spot type roof venting is not permitted.

4.3.14 Decks and Placement of Decks

4.3.14.1 Decks and Porches at Ground Level

Decks are to follow the horizontal lines of the house, being more wide than deep. Incorporating covered porches leading to decks at grade as an element of the design is encouraged. This feature takes advantage of Eagle Lake's mild climate and encourages year-round outdoor use. Pergolas and breezeways are also encouraged for porch areas, for connecting walkways, or at entries. The pergola feature includes a woven network of wood members suspended above an area supported by posts and beams. An example is incorporated within the Meeting House at Eagle Lake and the home on Site 39 (Figure 11 and Figure 12).



Figure 11 (left) The breezeway at the home on site 39 connecting the parking area with the entrance

Figure 12 (right) The pergola connecting the Eagle Lake Meeting House with the Bathhouse

4.3.14.2 Projecting Decks and Stairs off a Lower Level

Decks and stairs off a lower level shall not be higher than the ground floor level of the house and shall not be more than 8 feet above the finished grade measured at any point. Supports for such decks shall incorporate posts and beams on vertical and horizontal planes. Projecting decks may

also have wood-sided walls to avoid exposing diagonal bracing, and to further incorporate the deck into the main structure of the house.

4.3.14.3 Decks and Stairs at Upper Levels

A deck above ground level shall be at least somewhat recessed and integrated with the house design as a porch structure. This can be either above an existing porch, incorporating a roof, or above a heavy timber pergola structure. Outside stairs from upper levels can be incorporated within the design employing vertical and horizontal posts and beams, or with standard framing and approved exterior materials at the base.

4.3.15 Waste Facilities, Drains, and Utilities

4.3.15.1 Exterior Waste Facilities

Each site may maintain a secure exterior waste facility. To protect waste materials from foraging animals such as raccoons, it is necessary to maintain exterior facilities with secure fasteners. The Design Review Committee suggests a small projection off the garage, house, or carport in which to store recyclable materials and other waste destined for the landfill. It can be constructed with swinging doors that are secured when closed but kept unlocked for collection. Such a facility must be congruent with the design features of the structure. The installation of waste facilities is not permitted prior to the construction of the primary single-family dwelling.

All exterior garbage cans must have secure lids and be in a protected location or secured to the building.

4.3.15.2 Compost Waste Facilities

Homeowners are allowed to have compost bins at their sites for use in their own gardens.

4.3.15.3 House Drains and Water Supply Valves

Each house shall have easily accessible valves and drains for domestic water lines. The locations of supply and drain valves are to be listed on house/site plans. These should be located in a protected area of the foundation and be well insulated. This design feature allows the Caretaker to turn off water systems if they are left unattended in a winter freeze.

4.3.15.4 Electric

Electric hookups shall comply with the requirements of Orcas Power and Light Co-operative and any requirements deemed necessary by Eagle Lake.

4.3.15.5 Water Systems

Water system hookups shall comply with specifications provided by the Eagle Lake community water system.

4.3.15.6 TV Dish

A TV dish, if installed, shall comply with requirements from the providing company. Efforts should be made to lessen the dish's visual impact: such dishes shall be screened with native vegetation if on the ground, or placed on the roof. If color is an option among satellite dishes, it shall be of a dark color. Location of the dish site shall be noted on the Site Plan. Light colors can be painted over.

4.3.15.7 Septic Tank and Pump

Septic tank and pump facilities shall be built to the established Eagle Lake specifications of Orcas Sewage Design.

4.3.15.8 Septic Alarm Box

The septic alarm box shall be located in an easily accessible location on an exterior wall or post.

4.3.16 Mechanical Devices

Heat pumps, compressors and similar devices may be used with approval of the Design Review Committee. Sound levels from these devices must be less than 30 decibels measured at 15' (fifteen feet) and they should be placed away from neighboring sites. Screening may be required.

Backup generator systems are allowed and may be operated at all times during power outages and automatic weekly exercise periods.

4.3.17 Driveway

The location of the driveway shall be shown on the Site Plan. Driveways may be constructed of any material. Ditching may be required if the material is non-porous. Clearing for driveways shall be done in a manner to minimally affect the site. Care will be taken to not damage the site and surrounding areas with heavy equipment when constructing the driveway. In the event of damage, immediate repair of the area shall be required.

4.3.18 Exterior Lighting

4.3.18.1 Intent

Exterior lighting pertains to those fixtures on the exterior of any structures or those fixtures lining walkways or otherwise incorporated in landscaping around a site. This section is intended to suggest a model for wise use of exterior lighting, keeping in mind its effect on the surrounding land and adjacent sites.

4.3.18.2 Effect of Lighting

Exterior lighting on a site shall only affect the house, garage, exterior walkways, and exterior garden beds. Exterior lighting shall not flood the site or the surrounding common property. No up lighting of buildings or landscaping shall be permitted.

4.3.18.3 Recommended Exterior Lighting Technique

Indirect lighting is recommended. Uses for such treatments might be under stairs on decking, under the cap of a post, or within a pergola structure for overhead illumination.

4.3.18.4 Lighting Fixture Material and Finish

Simple wood exterior lighting fixtures will be considered whether they are custom produced or manufactured commercially. Dark metal outdoor fixtures are also permitted. No predominantly plastic fixtures shall be permitted. Approved finishes for fixtures include those matching the house exterior colors.

4.3.19 Garages and Carports

4.3.19.1 Garage or Carport Size

The maximum allowable combined ground floor area for garages and carports shall be 600 square feet. The maximum height of garages, defined as the distance from the highest point of the structure to the average finished grade, shall be 16 feet.

The maximum width of the entry side of the garage shall be 22 feet; there is no minimum. Garages and carports may be constructed on the site concurrently or at a later time than the construction of the primary single-family dwelling. A carport may be incorporated with a garage.

4.3.19.2 Garage Placement

Garages may be incorporated into home designs or placed adjacent to homes and connected via open walkways, covered walkways, or pergolas. They must be situated within the building circle.

4.3.19.3 Garage Doors

Garage doors shall be sized to accommodate one car and a maximum of two doors are permitted per garage.

4.3.19.4 Carports

Carports may have exposed open framing. All details to view must match the adjacent house and be congruent with the above-mentioned guidelines for house structures.

4.3.19.5 Mass, Proportion, Color, and Materials

Mass, proportion, color, and materials of all garage and carport details shall match those described in the section above for houses.

4.3.20 Storage Sheds and Firewood Storage

A separate structure may be used for storage of gear and wood. A small shed may be constructed on or near the site. The shed must incorporate a simple gable roof which matches the roofing material and slope on the residence or garage. The specifications for roof construction must meet the design criteria above. It may be open on the sides or sided to match the residence or garage. The shed must be stained to match the residence and garage. The facility shall be no greater in size than 120 square feet. The use of bright plastic tarps for covering wood on sites shall not be permitted. Dark colored tarps are permitted as a temporary measure only during construction. Storage sheds and firewood storage other than as described in 4.4 below shall be constructed concurrently or later than the primary single-family dwelling.

4.3.21 Signage

Signage shall be located on each home, or by the entrance to the driveway. Signage design shall be compatible with the aesthetic of the Eagle Lake community and the site style. Signage must be wood, ceramic, stone, or metal. Most of the surface areas shall be stained or painted to blend with the natural environment. Signage may not be plastic or include reflective materials except for solar powered signs or those distributed or recommended by the Orcas Island Fire Department.

4.3.22 Pest Control Planning

Planning should take place for pest control while in the design stage for implementation and treatment during construction. The east end of Orcas hosts carpenter ants and mice. Planning in advance can reduce or eliminate the effect of pests. Local pest control companies can make recommendations for design options and provide treatment prior to the insulation stage of construction.

4.4 Temporary Structures

4.4.1 Limited Temporary Structures

To maintain visual harmony with the surrounding natural environment, only limited temporary structures are permitted in accordance with Section 2.00 of the Eagle Lake CC&Rs and the Design Guidelines contained herein. Except as otherwise permitted as per sections 4.4.3 and 4.4.4 below, temporary structures shall not be allowed. No recreational vehicles, trailers, or premanufactured structures shall be permitted at any time. The only designated parking place for recreational vehicles is located near the community waste treatment center near the entrance to Eagle Lake.

The presence of a temporary structure on a site does not change the status of site as an undeveloped site and all rules applying to undeveloped sites remain in effect.

4.4.2 Utility Hook-ups

No utility hookups of any kind to temporary structures including Eagle Lake water, septic or power are permitted in accordance with Eagle Lake Phases I, II and III Plat Restrictions regarding occupancy.

4.4.3 Temporary Facility for Construction

A temporary facility may be constructed near the building site immediately prior to or at the commencement of construction for the term of construction on the site upon all the following conditions:

- a. Receipt and approval of applicable San Juan County building permit for the primary dwelling.
- b. The structure is not occupied as an overnight facility
- c. The structure is disassembled at the end of construction or alternatively may be used as a permanent storage shed and/or firewood shed if the design matches the design review guideline criteria as described in this document.

4.4.4 Temporary Structures Before Construction

4.4.4.1 Permitted Usage

Temporary structures allowed per this section 4.4.4 may be used for a few days at a time so that a property owner may enjoy the use of their parcel on a limited basis prior to any permanent construction and for not more than 60 days in any calendar year. Such temporary structures shall be removed prior to five years from the purchase of the lot.

4.4.4.2 Tent Site and Tent Platform

A tent site or tent platform is permitted on an un-developed site for temporary use a few days at a time. Simple wood furniture may remain on the site. A tent platform may be constructed with an elevated base measuring no more than 16 feet by 16 feet standing no more than 2 feet above the average finished grade. The platform may have a railing on the edge and may incorporate a bench seat. Simple wood furniture is permitted to be left on the site. The platform must comply with all aspects of the Design Guidelines and be approved by the DRC.

4.4.4.3 Tents

Tents may be assembled and used on the tent site or tent platform and may not exceed a 12' x 12' dimension. The tent must be brown or green in color and shall be assembled and disassembled during the owner's visit to the site.

4.4.4.4 Yurts

Yurts or yurt-like structures are not permitted on any site.

4.4.4.5 Temporary Storage Facility for Tent Sites

A temporary storage shed may be constructed on the site to keep recreational equipment and other items necessary for use while sites are used with tents. The shed must meet the criteria of the Design Guidelines in section 4.3.20 and receive approval of the Design Review Committee. The shed may be no larger than 120 square feet. See the description above for the design of the wood/ storage shed. A facility under this section 4.4.4.5 is not intended to be occupied as an overnight facility.

4.4.4.6 Cooking, Heating and Lighting

No fire pit may be constructed on an undeveloped site. No gas, wood or charcoal fires are allowed on an undeveloped site except for a small propane stove with no more than two burners or a small propane barbecue for cooking. Since small camp stove and barbecue produce open flames, they must be placed on a table or platform and never on the ground. They may not be stored long-term on the site. Only electric battery-powered lanterns are allowed for lighting.

4.4.5 Site Conditions

Sites must be kept clean and orderly. Sites shall not be used for permanent storage of recreational equipment, BBQ grills, laundry lines, or other such items. Bright plastic tarps over equipment are not permitted. Dark colored tarps are acceptable temporarily during construction of a storage facility or construction of a garage or house.

5 Construction Policies

5.1 Statement of Intent

The Eagle Lake Construction Policies are based on the Eagle Lake Design Guidelines and are intended to provide a clear set of ground rules for those working at Eagle Lake. All contractors and workers should be familiar with these policies. Eagle Lake retains a full time Caretaker who can answer questions about these policies, and who can help you with any problems that may arise.

Eagle Lake was established as a retreat to nature, and the land is to be treated with respect by community members and contractors on the building sites. Each property owner owns a 100-foot-diameter building site, and, as much as possible, all activity should be limited to this area. All property outside of the building sites is owned commonly by the Eagle Lake Community Association (ELCA). Extensive design review has taken place for this building site to make sure that impacts on the Eagle Lake community are minimized. Please keep this in mind while on the property and tread lightly. Common sense and sensibility are essential for building and maintaining a healthy community.

5.2 Repair of Roads and Community Property

As a result of construction, there can be damage and wear and tear on community roads. Repair costs for roads will be evaluated after the completion of construction and the owner will be assessed for repair costs. If damage to the roads is significant during construction, repairs may be needed prior to completion of construction. Any damage to community property as a result of an owner's contractor or subcontractor will be evaluated and the owner will be assessed for repair costs. This could apply to the land, utility systems, equipment, or the built environment.

5.3 Construction Hours

Construction hours are Monday through Friday 7:00 a.m. to 7:00 p.m. only. Construction shall not take place on legal holidays. At other hours low-noise projects may be completed with the permission of the Caretaker and the adjacent homeowner. No loud music or radio noise shall be permitted. Please try to keep disturbances to other community members to a minimum.

5.4 Use of Eagle Lake Property, Equipment, and Facilities

Domestic animals such as dogs may not be brought to Eagle Lake by construction personnel and are not permitted on or around job sites. Contractors may not hunt or fish on the Eagle Lake property. When driving on Eagle Lake roads, special care should be taken to observe posted speed limits. Contractors must make every effort to keep the roads clear and not impede other traffic moving through Eagle Lake.

Contractors are responsible for providing their own construction equipment, vehicles, toilet facilities. They are not to use community vehicles, tools, or equipment. The bathroom facilities at the Meeting House are available for use on a limited basis until a toilet is brought to the building site.

5.5 Parking

Employee vehicle and heavy equipment parking shall be limited to designated areas. No trucks or equipment may be left outside of designated areas overnight without permission of the Caretaker or the adjacent homeowner.

5.6 Construction Office

A temporary structure for use as an office/storage facility during construction will be allowed only with prior approval of the DRC, and in a location specified by the Eagle Lake Caretaker. No trailers, modular structures, or recreational vehicles shall be permitted at any time.

5.7 Vegetation Clearing on the Site

Except for areas on site that will be developed, existing vegetation shall be retained to minimize impact on the site and to partially obscure the structure from other's views. To ensure that there is adequate screening of structures from any shoreline, other sites, and the open common lands, thinning of any vegetation and cutting of trees shall be undertaken only after formal approval by the Design Review Committee and as specified earlier in this document. Vegetation debris shall be disposed of as specified earlier in this document.

5.8 Blasting and Excavation

The contractor must notify the Caretaker at least 48 hours before blasting begins and an hour before each shot so that community members can be alerted. Excavated and blasted material may be used on site for driveway and foundation fill, or for rock walls. Excess material must be removed from Eagle Lake property unless other explicit arrangements have been made with the Caretaker.

5.9 Site and Driveway Grading

Site and driveway grading shall be conducted in a manner that minimizes the impact on each individual site and that maintains the natural contours of the land, to the extent practical. Action shall be taken to maintain the stability of slopes, minimize erosion, protect existing vegetation, and result in an attractive appearance. Grinding of stumps, which leaves the roots intact, is encouraged. Finished grades may not exceed a slope of 2:1 (within a 2-foot span a 1-foot drop) or the natural grade of the site, whichever is greater.

Grading and foundation plans for sites within 200 feet of any shoreline shall require the review of a licensed soil engineer to evaluate possible effects on slope stability and drainage prior to approval. An acceptable plan by the engineer shall be provided to the San Juan County Planning Department or its successor agency with the building plans.

5.10 Erosion Control

Erosion control during construction, if needed, may include a siltation fence at the edge of the site to contain surface runoff. All material collected by the fence shall then be distributed back on the slope from which it came. The Design Review committee may require a siltation fence or other erosion control measures if excessive erosion occurs on the site. All exposed slopes shall then be replanted with native vegetation, grasses, or grass and wildflower mixes at the end of, or during, construction.

5.11 Concrete Cleanup

Cleanout of concrete trucks must be done within the foundation or driveway on site. Excess concrete may not be dumped on the Eagle Lake property.

5.12 Materials Storage

All building materials will be stored on the site, to the extent practical. Storage off the building site must be approved by the Caretaker. Equipment and material staging locations will be designated before work begins.

5.13 Site Cleanup and Recycling

Building sites must be maintained in an orderly manner; reusable materials, debris, and other materials must be stored in a systematic way. Recycling of unused building material is strongly encouraged. At the completion of construction, any construction material that can be reused or recycled may be requested by any community member or contractor working at Eagle Lake and taken with permission of the Eagle Lake Caretaker.

Builders are thus encouraged to separate material that can be recycled from the construction debris. Recyclable building debris should be deposited in an appropriate location. No construction debris may be deposited at Eagle Lake.

5.14 Burning

Unkempt piles of dry wood, brush, and construction debris can be a fire hazard and therefore shall not be permitted. No burning of debris shall be allowed on individual sites. Burning may be permitted in a designated community burn area. Consult the Caretaker for current burning policies.

5.15 Construction Timelines

All exterior construction on the site must be completed within twenty-four months from the start of construction. Additional time must be approved by the Design Review committee. The contractor shall keep the Caretaker informed about significant upcoming events involving the use of heavy equipment.

5.16 Restoration of Property

The contractor shall restore roads, drainage, vegetation, and the general area around the site upon completion of construction or during construction should circumstances require such action. The time for restoration of the property shall not exceed two weeks from the date of completion. The Design review Committee or Caretaker may require immediate repair of any disturbed land at Eagle Lake outside the building site. Repair may include but is not limited to leveling, clearing away damaged debris, replanting, or any other such action. If not performed according to the above requirement, the ELCA board may bill the owner for this repair

5.17 Stop Work Orders

A Stop Work Order shall be issued to owners or their agents taking actions in gross violation of established guidelines and restrictions, construction policies, or decisions by the Board of Director or the Design Review Committee. Due to the potential urgency of taking action, a temporary Stop Work Order may be issued by the Caretaker, any member of the Board, or any member of the Design Review Committee. The temporary Stop Work Order that is not confirmed by either a decision of the Board or the Design Review Committee, or for which the underlying problem has been resolved, shall be automatically lifted after 5 (five) business days.

The Stop Work Order shall state the violation. All work on the site shall stop except that supervised by the Caretaker, or a member of the Design Review Committee or Board of Directors. The owner or his representative may appeal to the Board of Directors.

5.18 Owner as Agent

The owner is responsible for the construction activity on the site and must be certain that the contractors and their employees working on the site abide by the rules, policies, and/or regulations of Eagle Lake.

5.19 Utility Verification

Before closing any utility trench, the general contractor shall call the Caretaker to photograph the installation and verify utility location on the Site Plan.

5.20 As-Built Plans

An as-built set of plans, including the Site Plan, floor plans, and mechanical plan, shall be provided to the Design Review Committee upon completion of the house. An additional electronic copy in PDF format is welcome but not mandatory.

6 Design Review Process

6.1 Statement of Intent

The Design Review Committee shall strive to fairly apply these Design guidelines, independently of personal preferences, taste, or bias. It shall do so openly and in partnership with the site owner. When disagreements arise, the Design Review Committee shall aid and guide the site owner through the appeal process.

6.2 Agreement to Abide by the Design Guidelines

By requirement of the Covenants, Conditions and Restrictions (CC&Rs), the owners of each Eagle Lake site, with or without an existing home, have agreed to comply with the Design Guidelines and the construction policies of Eagle Lake at the time of purchase. We highly recommend that the owner ensures both the architect and/or the selected contractor are familiar with the Design Guidelines and the Construction Policies (section 5 above). For the convenience of the owner, a Construction Policy agreement binding the owner's contractor is attached in Appendix C to this document. However, the ultimate responsibility for compliance with the Design Guidelines always lies with the site owner.

6.3 Filing Fee

Official submission of plans for construction requests for either the building of a new home or any notable addition to an existing home (Major Construction Request) shall require the payment of a Filing Fee to ELCA. The Filing Fee is not required for small requests (Minor Requests – See Section 7 below).

The current Filing Fee is \$500.00.

6.4 Hiring of a Design Professional for Review

It is expected that in most cases the Design Review Committee should be able to perform the plan review of Major Construction Requests for conformity with the Design Guidelines without external help. However, it may be found necessary at times to get the advice of a design professional to help in the review of the plans for conformity. In such case, the Design Review Committee may decide to hire such design professional. The Design Review Committee shall ensure that the design professional has no conflict of interest and that his or her fee shall be reasonable. The Filing Fee shall be applied to the cost of hiring the design professional. The expense of the review in excess of the Filing Fee shall be borne by the site owner.

6.5 Representation

The design review process includes meetings and continued conversations. For the sake of clarity in communications, it is therefore appropriate to have one contact person per site. This

person may be one of the owners or a delegate chosen by the owner. Similarly, the Design Review Committee will designate one of its members (DRC Coordinator) to handle communications with the site owner delegate. Please note that the DRC Coordinator handling communications has no authority on his or her own to grant or deny approval. His or her role is to facilitate communications and provide guidance. Official approval, denials, or acceptance of requests for changes can only be issued by the Design Review Committee as a whole.

6.6 Review Process Timing

The timing of the response by the Design review committee to an official site owner request is defined in the CC&R, and further refined in the ELCA Bylaws paragraph 09.06 Estoppel Certificate.

7 Minor Requests - Review Process

7.1 Overview

Minor requests include but are not limited to requests for tree removal or trimming, whether within the circle of within the view corridor, landscaping, and minor additions or modifications to an existing home. Examples include but are not limited to, repainting, re-roofing, new fencing, adding a generator, adding or replacing a door or window, replacement or addition of a shed, tent platform on an empty site, etc. If in doubt about what constitutes a minor request, the site owner should contact the Design Review Committee for clarification.

The Design Review Committee shall make reasonable efforts to expedite Minor Requests promptly, within days if possible. For such Minor Requests, the review process shall consist of:

7.2 Official Request

The site owner shall contact the Design Review Committee by email with their request. Usually, one (a designated DRC Coordinator) or several members of the Design Review Committee shall meet with the site owner or their representative at a mutually agreed upon time on site to review and further document the request. Well documented simple requests may not need a site review.

7.3 Official Response

The Design Review Committee shall then provide an official response to the site owner. The response shall either be an approval or disapproval.

7.3.1 Approval

If the response is approval, it shall include:

- a. A description of the project as initially filed by the site owner or as further documented after the site visit.
- b. Requested modifications to the project. These modifications should have been discussed first with the site owner or their representative.
- c. Eventual additional conditions and conditions under which the project shall be executed.
- d. The date of the approval and the date until which the approval remains valid (expiration date). Unless exceptional circumstances, the expiration date shall be at least one year from the approval date, and no more than two years. If the project is not completed by such expiration date, the site owner, if still interested in completing the project, shall either refile a request or ask for an extension. There is no guarantee that such extension will be granted as circumstances may have changed.

7.3.2 Disapproval

If the response is disapproval, it shall include

- a. A description of the project as initially filed by the site owner or as further documented after the site visit.
- b. Detailed reasons for the disapproval.
- c. An explanation of the appeal process.
- d. Optionally, if applicable and reasonably possible, a description of the changes that would be necessary for the project to be approved.

7.4 Project Completion

At project completion, the site owner shall inform the Design Review Committee of such completion. The site owner may want to provide documentation (photos for example) showing the completed project. The Design Review Committee reserves the right to inspect the project for compliance with the original description and conditions. The Design Review Committee may require the site owner to correct non-compliances at the site owner's expense.

7.5 Deviations during Project Implementation

The site owner shall request authorization for any notable deviation from the original approved project before implementation of the changes. The process for obtaining authorization for a deviation is the same as described earlier in this section.

8 Major Construction Requests - Review Process

8.1 Major construction Requests Overview

The review process for Major construction Requests includes three mandatory milestones as well as several recommended steps. The mandatory milestones are:

- a. The official request from the site owner
- b. The pre-construction review
- c. The post-construction review

These milestones are detailed below in section 8.2 Mandatory Milestones

In addition, the Design Review Committee highly recommends that the site owner sets up one or two preliminary meetings (Section 8.3 Optional Pre-Meetings) with the Design Review Committee. The purpose of these optional meetings is to ensure that the site owner, the architect and or the contractor fully understand the Design Guidelines and the process, hence ensuring a high probability that the Official Request will be accepted without the need for potentially costly and time-consuming revisions. At the occasion of the first meeting, the Design Review Committee shall assign one of its members as the DRC Coordinator.

8.2 Mandatory Milestones

8.2.1 Official Request from the site owner

The official request from the site owner shall contain all necessary information for the Design Review Committee to review the design and other aspects of the construction project under its purview.

The Design Review Committee shall promptly acknowledge receipt of the Official Request.

While performing its review, the Design Review Committee may ask the site owner or their representative for further explanation. It is to the interest of the site owner to promptly respond to ensure the maximum chance of a successful conclusion to the review.

After completion of the review, the Design Review Committee shall issue an official response which shall be either an Approval to Proceed to the Pre-Construction Review, or a Denial of Approval to Proceed (see sections 8.2.1.7 and 8.2.1.8 below).

The Official Request shall be accompanied by the payment of the required Filing Fee (see section 6.3 above). A request shall not be considered complete until the Filing Fee has been paid. The Official Request shall be considered having been filed with the Design Review Committee on the

latest of the payment of the Filing Fee and the production of all necessary documents as described in this section. If an external review is required, the site owner shall promptly pay the difference between the Filing Fee and the fee of the design professional performing the review. The Official Request shall contain at a minimum the following documents and plans:

8.2.1.1 Site plans

The site plan shall detail:

- a. How the constructed structure fits on the site circle
- b. Utilities location
- c. The view easement
- d. Driveways
- e. Porches
- f. Site grading
- g. Vegetation removed

8.2.1.2 Building plans

The building plans shall show all details of the structure needed to confirm conformity with the Design Guidelines.

8.2.1.3 Material and Color Selections

List of all materials and colors for exterior walls, roofs, chimneys, patios, doors, windows.

8.2.1.4 Agreements from adjacent site owners

List of the features of the construction and vegetation removal that may affect neighboring site and how the concerns of the neighboring site owners are being addressed.

8.2.1.5 List of Requested Deviations

The site owner may request a limited number of deviations from the guidelines. The deviations shall be fully documented and with a qualification of their suitability.

8.2.1.6 Summary of Compliance

- See Appendix A –

8.2.1.7 Approval to Proceed to the Pre-Construction Review

An Approval to Proceed to the Pre-Construction Review means that the design as submitted generally meets the requirements of the Design Guidelines. The Approval to Proceed to the Pre-Construction Review shall contain:

- a. A reference to the Official Request and the documents associated with it.
- b. It may list some of the salient points of the Official Request.
- c. The list of the few minor requested changes, if any, to the plans submitted. These changes shall be reviewed at the Pre-Construction Review meeting.
- d. The list and description of the accepted deviations.
- e. The expiration date of the Approval to Proceed. Unless exceptional circumstances, this expiration date shall be no less than one year and no more than two years from the date of the approval to proceed.

8.2.1.8 Denial of Approval to Proceed

A Denial of Approval to Proceed means either that the information provided is incomplete or that the design deviates substantially from the Design Guidelines and or clarifications requested from the site owner have not been sufficient or sufficiently timely for the Design Review Committee to complete its review within the allotted time. A Denial to Proceed shall include:

- a. A reference to the Official Request and the documents contained in the Official Request.
- b. A detailed list of reasons for the denial.
- c. An explanation of the appeal process.
- d. Optionally, if applicable and reasonably possible, a description of the changes that would be necessary for the project to be approved.

8.2.2 Pre-construction Review

The pre-construction review for an approved Major Project consists of an on-site meeting between the site owner or owner representative, member or members of the Design Review Committee, the owner's chosen contractor, and the ELCA Caretaker

The purpose of the review is to bring clarity on the important elements of the construction phase. The group shall address or review:

- a. The construction location

- b. Excavation materials: plans for excavation and disposal of excavated materials
- c. Utilities location: location and marking of existing utilities.
- d. Storage areas: plans for storage of vehicles and equipment during construction.
- e. Construction waste: handling and disposal of construction waste.
- f. Vegetation removal on and off the site: check that all vegetation to be removed is clearly marked with survey tape or line; no spray paint is permitted.
- g. Hours of construction and noise abatement.
- h. Expected construction timeline.
- i. Verify that the minor changes to the construction plans requested in the Acceptance to Proceed to the Pre-Construction Review have been implemented.
- j. Review the process for the handling of deviations from the initial plan that may occur during the construction phase.

At successful completion of the Pre-construction Review, the Design Review Committee shall promptly issue an authorization to proceed with the construction. The authorization shall include a summary of the salient points of the review as listed above. Should the construction not start within 6 months of the Pre-construction Review, the site owner or owner representative shall be required to acknowledge in writing in a letter or email to the Design Review Committee the points of the Pre-construction Review listed above. Construction is deemed to have started once excavation has started or building machinery, construction equipment, or construction material are stored on or near the site.

8.2.3 Post-construction Review

The purpose of the final review is to establish that the approved and completed building plan and site plan comply with the Design Guidelines, the construction policies, and other community documents and agreements. The following reviews shall be performed:

- a. Site review
The owner and a designated member of the Design Review Committee and the ELCA Caretaker shall review the site and check for compliance with the vegetation removal, replanting of natural and other vegetation, redistribution of soils disturbed through erosion, drainage, site cleanup, and road or driveway construction techniques.
- b. Buildings review
The owner and a designated member of the DRC will review the exterior of all structures and address compliance with color, materials, finish, and changes completed after

notification of noncompliance from any prior review.

c. Plans “As Built”

Check that a copy of the plans As Built has been remitted to the Design Review Committee, including the actual final locations of all utilities. An additional electronic copy of the plans As Built in pdf format is welcome.

On satisfactory completion of the post-construction review, the Design Review Committee shall promptly notify the site owner of the compliance of the project with the Design Guidelines.

8.2.4 Handling of Deviations during Construction

The site owner or their representative shall promptly inform and request authorization from the Design Review Committee for the desire or need for deviations or variations from the original project plan that may occur during construction. The authorization requests shall include a description of the changes and the reason for those changes. The Design Review Committee shall promptly review the requests before approval or denial is granted.

8.3 Optional Pre-Meetings

The role of the optional pre-meetings is to establish a dialog between the site owner or their representative and the Design Review Committee with the following objectives:

- a. Ensure the site owner understands the Design Guidelines by giving them access to the members of the Design Review Committee who are familiar with the guidelines and the process and may themselves have gone through a similar experience.
- b. Give an opportunity to the members of the Design Review Committee to get familiar with the project, the motivations and intents of the site owner.

The ultimate objective is to ensure that the design submitted in the owner’s Official Request will substantially meet the Design Guidelines and yield a prompt and successful review.

8.3.1 Initial Site Visit

This is a get to know each other meeting. It should be performed in person and on-site. This an opportunity for discussing and documenting the characteristics of the site, building siting, height, visibility, vegetation removal on site and off, vegetation pruning on site and off, general architectural features, location of utility hookups, utility hookup requirements, clarification of site boundaries, and basic code compliance.

8.3.2 Concept Review

This meeting can be conducted on-site or partly on-site and in a suitable meeting place at Eagle Lake. This is an opportunity to review initial concepts for all structures to be built. Freehand sketches and diagrams or computer-generated drawings are appropriate for this review.

It is also advisable to review possible constraints or concerns imposed by neighboring sites and how to address them.

8.3.3 Other Informal Discussions

The site owners should feel free to engage with informal discussions with the Design Review Committee or the member of the committee assigned to them (DRC Coordinator).

8.4 Appeal Process

If the owner is not in agreement with a Design Review Committee conclusion, the site owner may appeal. The first appeal level is with the Design Review Committee itself. The second level is with the ELCA Board of Directors.

8.4.1 Appeal with the Design Review Committee

If the site owner disagrees with the Design Review Committee conclusions, the site owner has 15 (fifteen) days from the Design Review Committee decision to send a request for appeal to the Design Review Committee.

At reception of the Appeal, the chairperson of the Design Review Committee shall schedule a meeting between the owner and the Design Review Committee within 30 days. At this meeting, the Design Review Committee findings are to be confirmed or altered and documented in writing to the site owner within 10 (ten) days. However, the Design Review Committee shall make a reasonable effort to handle appeals for denial of deviations from an approved plan on an expedited basis.

8.4.2 Appeal to the ELCA Board of Directors

If the site owner still disagrees with the conclusions of the first appeal, the site owner may appeal to the ELCA Board of Directors. The request shall describe the action being appealed, the reason for the appeal, and the action being sought. An appeal review shall be scheduled at the next ELCA Board meeting. All participants will be notified of the meeting time and place by the Design Review Committee.

At this meeting, the owner will have the opportunity to state the issues of concern and ask questions of any members. The Design Review Committee Chairperson or a designated representative, shall state the position of the Design Review Committee and the reasons behind it. The site owner appealing the decision shall be responsible for stating his/her concerns and actions based on compliance with existing community documents. The ELCA Board of Directors shall decide, act, and notify the Design Review Committee and the owner within 14 (fourteen) days of the meeting. The decision of the ELCA Board of Directors shall be final.

Appendix A

Major Construction Request

Summary of Compliance

This document is meant to help both the site owner and the Design Review Committee ensure compliance of the design with the Design Guidelines.

Site Information

- Site
- Site number
- Close neighboring sites

List close neighboring sites if any, as well as close neighboring community features - lake for example. This is important if trees and vegetation in between the sites need to be altered A

Describe how potential privacy issues are being addressed and what discussions took place with the neighbors

Type of Construction and Features

- New home construction
 - With Garage -or - with Carport
 - With woodshed
 - With exterior fire pit, fireplace, cooking or heating device (*please describe if any*)
- Home addition or extension
 - Addition of a garage
 - Addition of a carport
 - Extension of house living space
 - Construction of a second house on the site
 - Other (please describe)

Plans Provided

- Site plan showing:
 - Site circle
 - Construction versus circle
 - Woodshed location
 - View corridor

- Vegetation to be removed
- Grading
- Driveway
- Fenced areas
- Landscaping plan
- Building plans
- Exterior plans
- Locations of utilities, including septic

Major Dimensions

- Home dimensions after construction. *If there is already an existing structure, please indicate how these dimensions change before and after construction*
- Living space footprint (in square feet)
- Total living space (in square feet)
- House height above average grade (in feet - does not include chimney)
- Garage or carport area (square feet)
- Height of garage or carport above average grade (in feet)
- Maximum height of retaining walls (if any)
- Woodshed dimensions

Design features

- Windows
For each window, please list window type, dimensions, W:H aspect ratio, and material
- Doors
For each door, please list door type, dimensions, and material
- Clerestory
Describe if any, including height of highest point from roof below
- Window and door trims
 - Material
 - Width
- Walls
 - Material, maximum exposure of siding, etc. when relevant
 - Maximum size of unbroken wall or surface area
 - Maximum size of unbroken retaining wall area
- Roof
 - Roof shape
 - Roof material
 - Minimum roof pitch
 - Maximum roof pitch
- Chimney(s)
Number, location, material, presence of spark arrestors

- Fencing
Describe fencing design
- Color Scheme
Provide samples or meaningful descriptions including manufacturing references
- Wall color
- Windows and door trims color
- Roof color
- Chimney(s) color
- Color of the entry door and garage walk-in entry door (if any)
- Number of Bedrooms
Please indicate the total number of bedrooms - Do not list other rooms such as offices, reading rooms, etc.
- Exterior fire pit, fireplace, cooking or heating device
If any, describe how constructed and fire safety clearances
- Vegetation removal
List all protected trees - type and diameter) to be removed and their location on site plan
List vegetation removal that affect neighboring sites
- Heat pump, generator and other devices
If any, describe, indicate model, location, and noise ratings
- List of Requested Deviations from the Guidelines, if any
Please give a list of the few requested deviations and qualify why they are suitable.

Appendix B

Site Owner - Contractor Agreement

(This is provided for the convenience of the site owner. The site owner may choose to use a different form, but we recommend that site owner ensures that the contractor understands and will abide by the Design Guidelines and particularly the Construction Policies)

The owners of this site at Eagle Lake on Orcas Island have entered into an agreement to comply with the Design Guidelines. The undersigned contractor has a full understanding of the Design Guidelines and **construction policies** and will comply.

SITE #_SITE OWNER_____

CONTRACTOR_____

COMPANY_____

DATE_____

Appendix C

Examples of Eagle Lake Home Designs



The Home on Site 9 is a new version of the Craftsman Style and a creative approach to a small-size residence (1500 sq. ft.) with a breezeway between the main home and the studio/guest room. Construction utilizes Insulated Concrete Form (ICF) wall systems that are energy efficient

and environmentally friendly.



The Home on Site 7 represents a good example of a timber frame home using the Craftsman Style with an attractive and graceful facade facing Eagle Lake.



The Home on Site 28 represents a successful approach to minimize its footprint with multilevel, saving significant site features and trees. The facades express beautiful architectural traditions with clear articulation of Craftsman Style details.



The Craftsman Style Home on Site 35 is an indication of a large structure with two stories that can be built within the 100'-diameter circle.



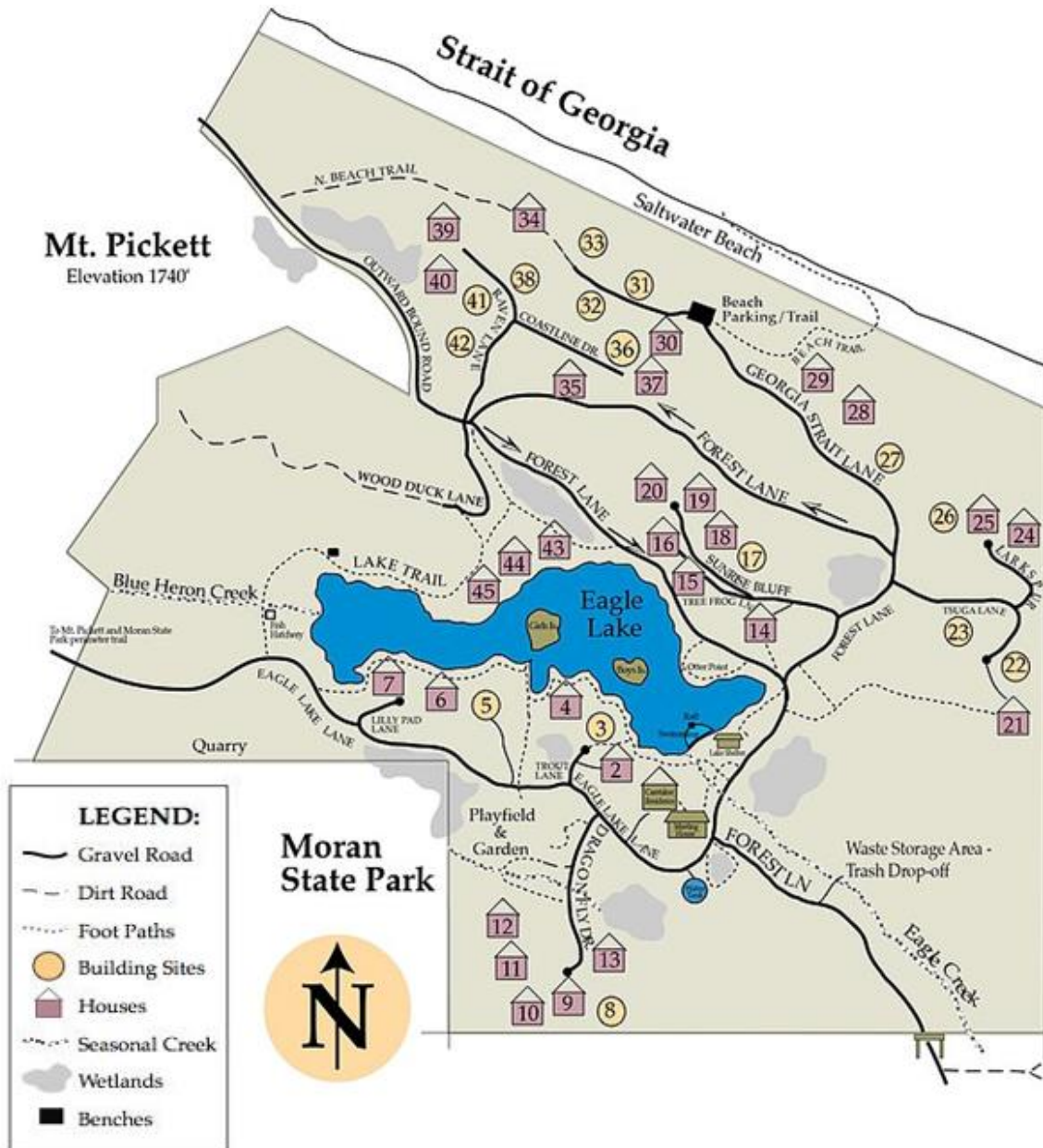
The Home on 39 represents a different interpretation of architectural traditions with strong horizontal lines and sustainable building materials. Construction utilizes Insulated Concrete Form (ICF) wall systems that are energy efficient and environmentally friendly.



Sketch showing the Home on site 39 as an example of working with the site topography and minimizing the impact on the site. *Illustration by Farouk Seif, Ph.D., AIA*

Appendix D

Eagle Lake Site Map



Appendix E

Measuring Tree Diameter

Most standard protocols for tree diameter measurements call for the measurement of the diameter at 4.5 feet from the ground. This is often referred to as Diameter at Breast Height. **However, please note that the Eagle Lake CC&Rs call for measurement at 4 feet.** How the height from the ground is measured vary somewhat depending on the protocol used. The following describes a simple method and simple rules that we apply at Eagle Lake to determine whether a tree diameter is below or above the Protected Tree diameter limit.

Tree Diameter

A tree section is generally round, but it is rarely a circle. The measured tree diameter is in fact derived from the circumference of the tree at the specified height from the ground - 4 feet at Eagle Lake; the measured circumference is then divided by π (3.14) to derive the “diameter”.

Height from the ground for diameter measurement

Different standards call for slightly different methods for determining the height from the ground. As the trees we are interested in are small in diameter, which standard is used does not influence the result notably. At Eagle Lake, we measure height on the **uphill side of the tree**.

Tools and methods

One can use a flexible measuring tape and do a little bit of math. However, there is a simpler way. If you use a walking pole, make a mark on it at 4 feet from the ground and use it to determine the measurement height. Alternatively, you may procure yourself a wood stick or rod 4 foot long. For checking the diameter, cut a piece of string or other durable piece of flexible material 25 1/8 inch long (8 inches multiplied by π). Identify the point on the tree 4 feet from the ground using the marked pole, stick, or rod, and then wrap the string perpendicularly to the bore of the tree. If you can join the extremities of the string, the tree is not a protected tree. If the tree is large enough so you cannot join the two extremities of the string, then the tree is a protected tree.

Irregular trees

Although this is not very likely to happen with small diameter trees, some trees show irregularities and things can get a little bit more complicated. Let's look at how to deal with these irregular trees:

- Forked trees
 - Measure as one tree if the fork occurs at or above 4 feet
 - Measure as two (or more) trees if the fork occurs below 4 feet

- Burl or canker at 4 feet
 - Measure above the deformity
- Leaning trees
 - Measure on the uphill side of the tree if on a slope
 - Measure on the short side of the lean if on flat ground
- Trees with roots above ground (trees growing on tree stumps for example)
 - Measure at 4 feet above the root crown of the tree.
- Trees grown together (not likely for small diameter trees) count as two trees.
 - Measure halfway around each and double the measurement. If you use the string, double the string on itself. If the doubled string extends beyond half the tree, the tree is not protected.
- Injured tree
 - If nearly half the tree diameter is missing, measure half the tree and double the measurement. As above, if you use the string, double it on itself. If it extends passed the half circumference, the tree is not protected.

Appendix F

Finding the View Corridor

The view easement detail includes a compass azimuth bearing taken from the center of each site. To calculate the view easement, first find the center of the site and establish true north on the compass. The degree listed by the site number below indicates the centerline of each site view easement. Please note that some sites have two view easements. Each un-built site should be marked with a 4x4 post at the center of the circle and a blue stake on the ground marking the direction of the view easement. However, overtime, these markers may have been lost and in any case should always be verified through proper surveying.

Standing at the center of the site, imagine a straight line along the compass azimuth that designated the center of the view. At the site's center, imagine a line perpendicular to the azimuth line that extends to the edge of the 100-foot circle site. Where this line intersects the perimeter of the circle, imagine two lines moving out at a 20-degree angle from the circle site. The area between those two lines contains the view corridor. Please see the diagram below.

